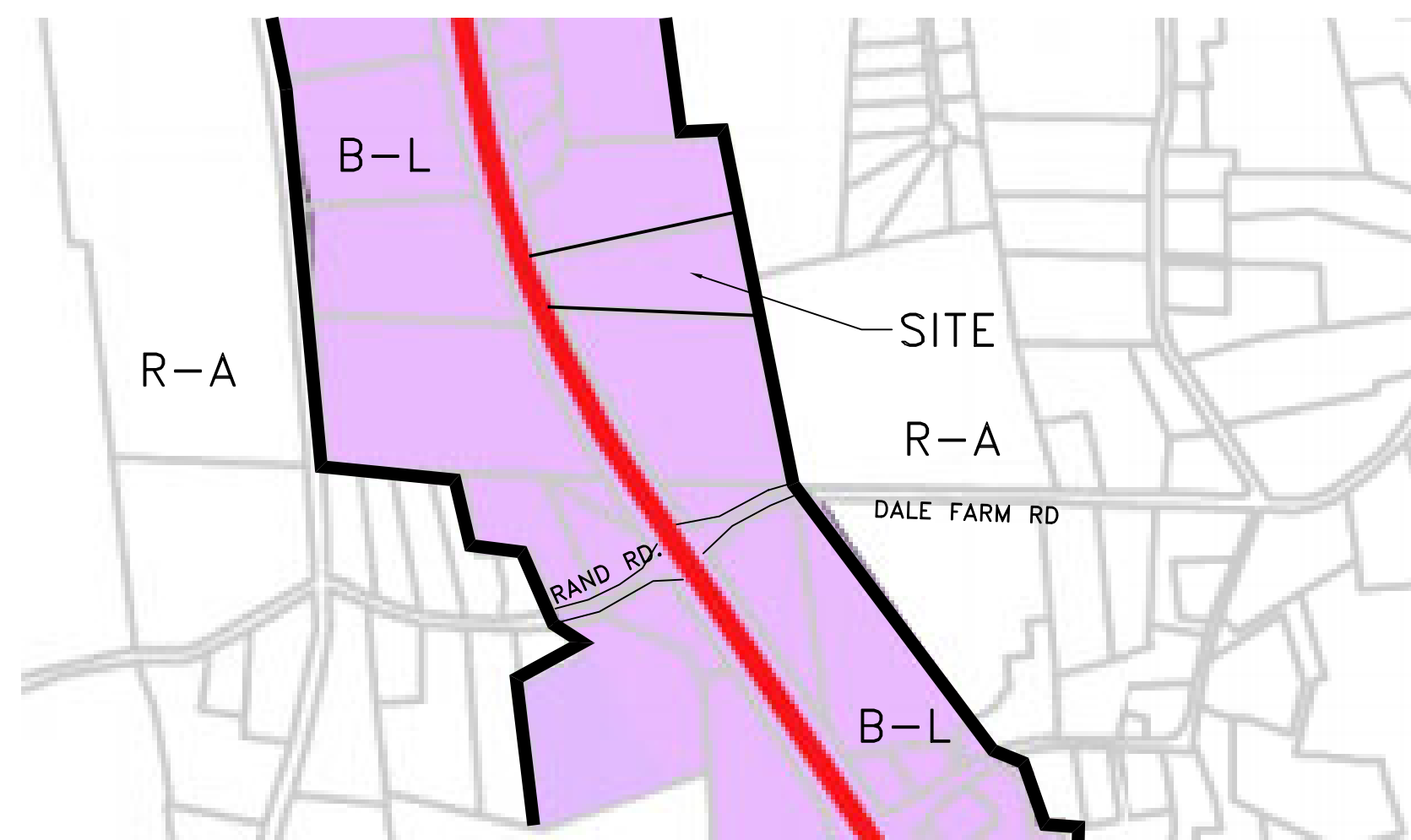


LOCK'D UP STORAGE SITE PLAN

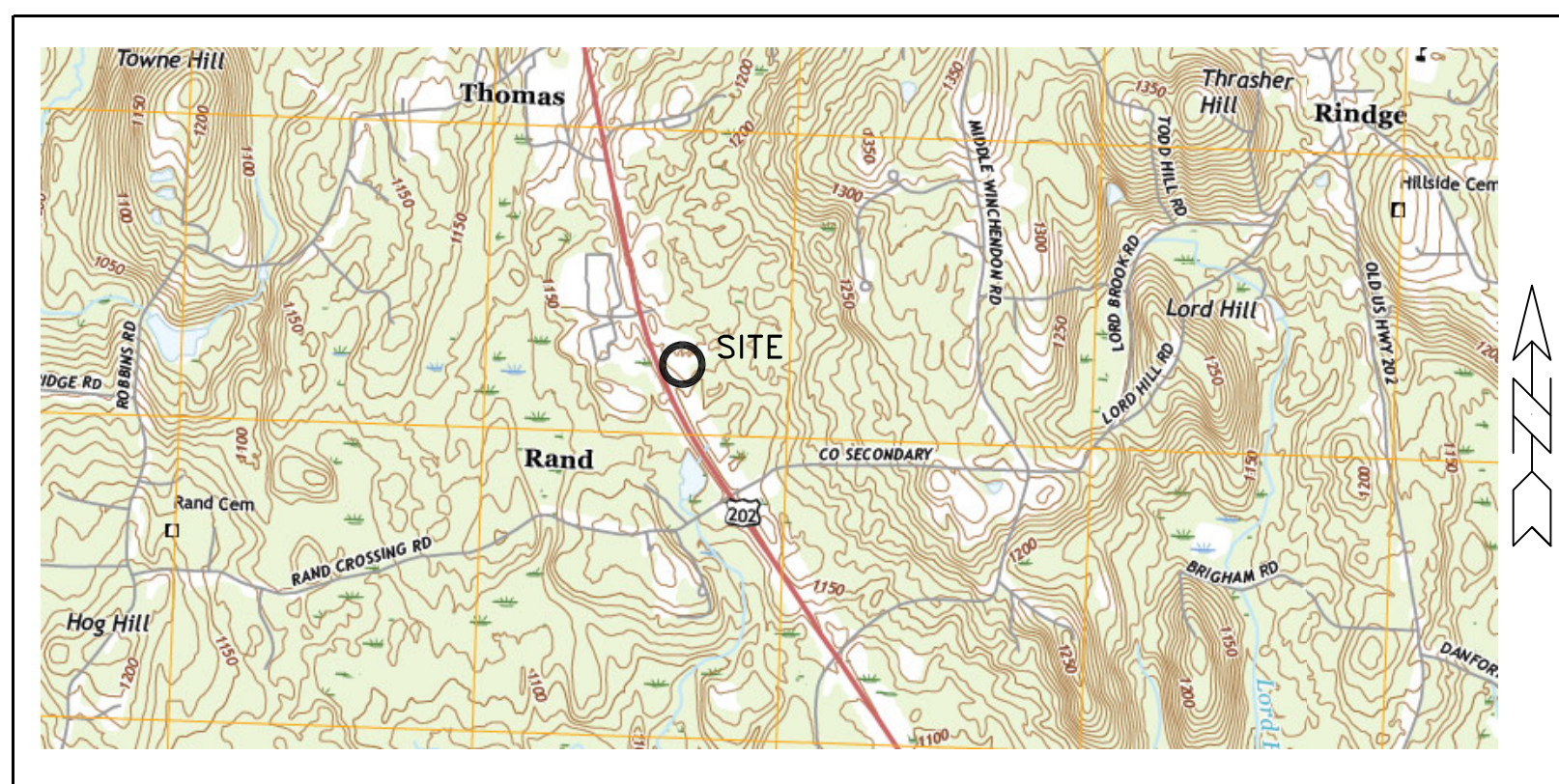
29 COMMERCIAL LANE; MAP-6 LOT-99-4

RINDGE, NEW HAMPSHIRE 03461

MAY 5, 2021



LOCUS TAX-MAP PLAN 1"=1000'



USGS MAP 1"=2000'

APPLICANT: LOCK'D UP STORAGE NH, LLC; 1032 N.H. ROUTE 119; RINDGE, NH 03461
 LAND OWNERS: LOCK'D UP STORAGE NH, LLC; 1032 N.H. ROUTE 119; RINDGE, NH 03461
 ENGINEER/SURVEYOR: GRAZ ENGINEERING LLC; 323 WEST LAKE ROAD; FITZWILLIAM, NH 03447
 WETLAND SCIENTIST: CARL J. HAGSTROM; MONADNOCK SEPTIC DESIGN, LLC; P.O. BOX 536; FITZWILLIAM, NH

DRAWING INDEX

- 1) COVER/TITLE SHEET
- 2) EXISTING CONDITIONS & PROPERTY PLAN
- 3) PROPOSED GENERAL SITE PLAN
- 4) STORMWATER NOTES & DETAILS SHEET
- 5) STORAGE BUILDING DETAIL SHEET 1 OF 2
- 6) STORAGE BUILDING DETAIL SHEET 2 OF 2

GENERAL PROPERTY DATA

ASSESSORS NO.: MAP-6 LOT-99-4

LOT ADDRESS: 29 COMMERCIAL LANE; RINDGE, NH
 OWNERS OF RECORD: LOCK'D UP STORAGE NH, LLC
 1032 N.H. ROUTE 119; RINDGE, NH 03461
 LOCUS DEED: BOOK 3147 PAGE 41

PLAN REFERENCES: PLAN BOOK-56 PAGE-12
 REVISED 7-30-87

EXISTING BUILDINGS: 4,320 S.F. OFFICE SPACE
 17,682 S.F. SELF STORAGE

PROPOSED BUILDINGS: 17,100 S.F. SELF STORAGE

ZONING DISTRICT: BUSINESS LIGHT INDUSTRY

DIMENSIONAL REQUIREMENTS:

AREA: 2 ACRES
 FRONTAGE: 250 FEET

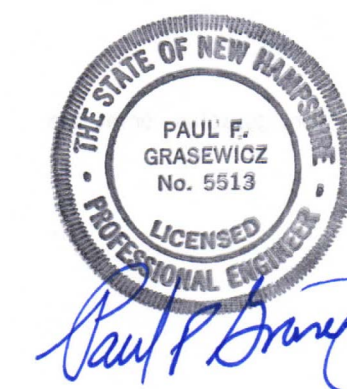
SETBACKS:

FRONT YARD: 25 FEET
 SIDE YARD: 10 FEET
 REAR YARD: 50 FEET
 OTHER BUILDINGS: 25 FEET

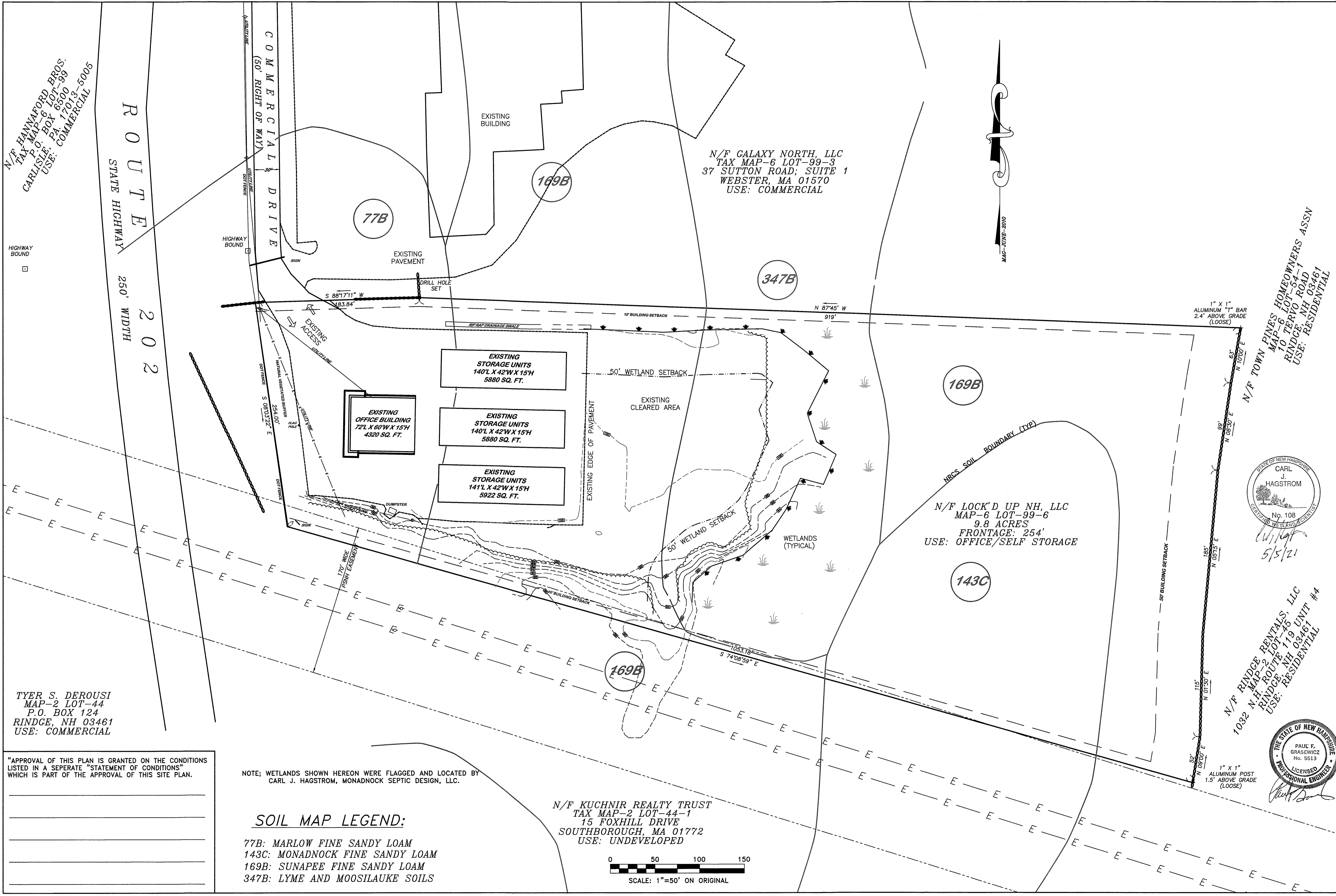
OTHER: 50' WETLAND SETBACK FOR IMPERVIOUS AREAS, ETC.
 (SEE RINDGE WETLAND ORDINANCE)
 80% MAXIMUM IMPERVIOUS AREA
 (24.1% PROPOSED)

SHEET 1 OF 6 JOB/FILE: 21119

"APPROVAL OF THIS PLAN IS GRANTED ON THE CONDITIONS LISTED IN A SEPERATE "STATEMENT OF CONDITIONS" WHICH IS PART OF THE APPROVAL OF THIS SITE PLAN.

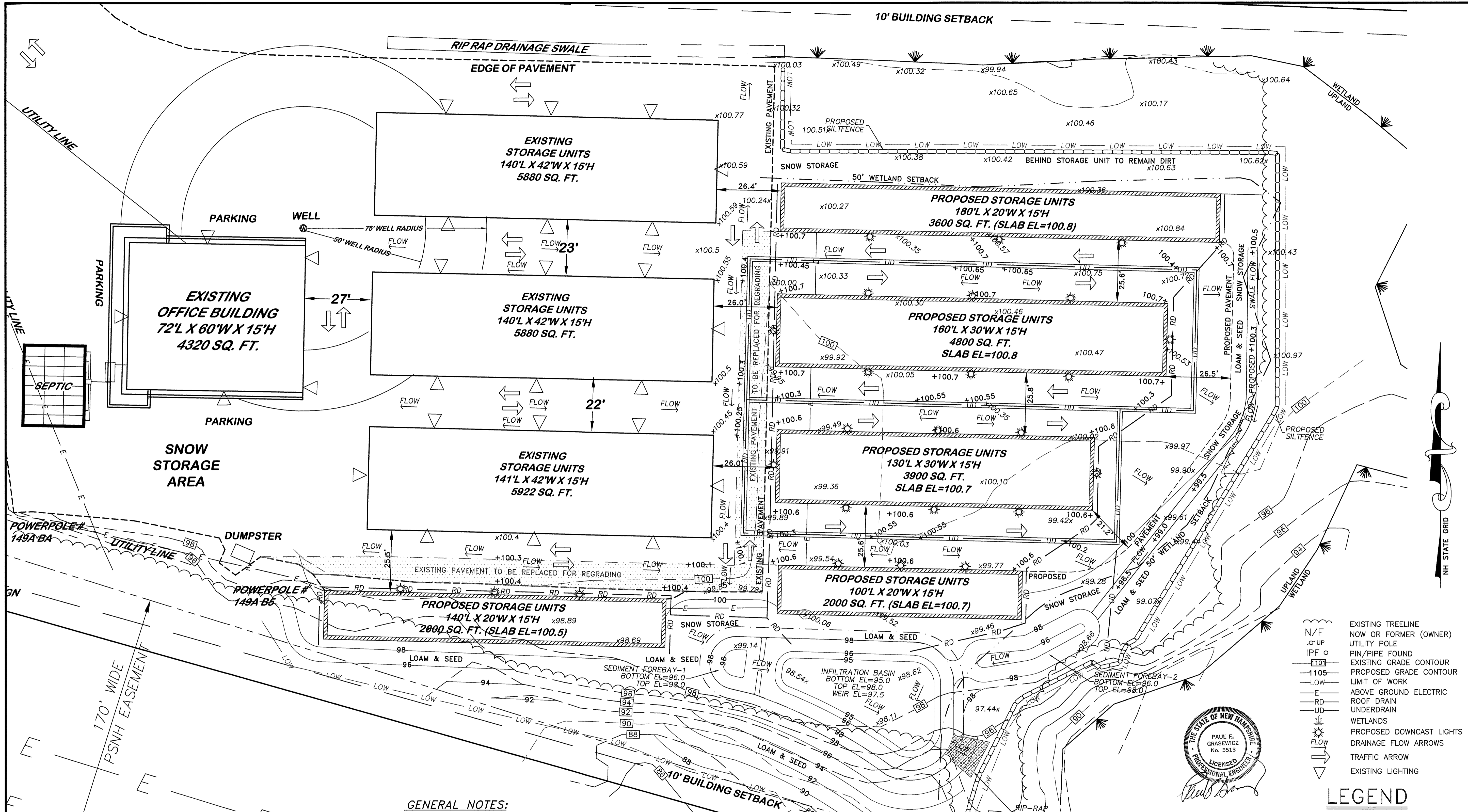


Paul F. Grasewicz



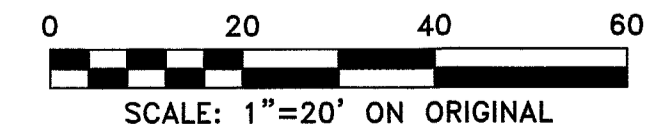
"APPROVAL OF THIS PLAN IS GRANTED ON THE CONDITIONS LISTED IN A SEPERATE "STATEMENT OF CONDITIONS" WHICH IS PART OF THE APPROVAL OF THIS SITE PLAN.

NOTE: WETLANDS SHOWN HEREON WERE FLAGGED AND LOCATED BY CARL J. HAGSTROM, MONADNOCK SEPTIC DESIGN, LLC.

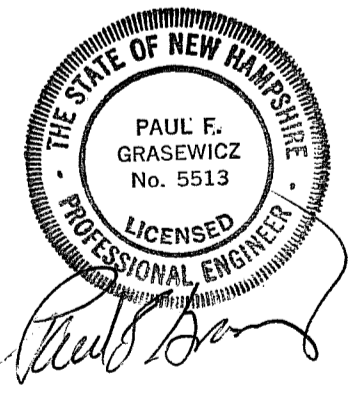


GENERAL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED BUILDINGS AND ASSOCIATED DRAINAGE, GRADING, UTILITIES, ETC INVOLVED IN THE COMPLETION OF THE PROJECT.
2. CONTOURS ARE BASED OFF OF GPS/TOTAL STATION SURVEY ON-SITE AND LIDAR 2-FT CONTOURS FROM GIS.
3. FIELD SURVEY PERFORMED BY GRAZ ENGINEERING TOTAL STATION & R-T-K GPS/GNSS.
4. NO ADDITIONAL ALTERATION (OR CUTTING) MAY BE PERFORMED ON-SITE WITHOUT FURTHER APPLICATIONS/PERMITS.
5. NO SITE LIGHTS ARE PROPOSED OTHER THAN THE DOWNCAST WALL MOUNT AREA LIGHTS AROUND THE BUILDING AT THE LOCATIONS SHOWN.
6. FOR FURTHER DETAIL ABOUT DRAINAGE ON-SITE, SEE STORMWATER REPORT.
7. NO ADDITIONAL SEPTIC DISCHARGE IS PROPOSED.
8. PAVEMENT PAINT & MARKINGS SHALL BE IN ACCORDANCE WITH ALL NH SPECIFICATIONS.
9. ALL ELECTRICAL WORK SHALL CONFORM TO CODE & RINDGE REGULATIONS.
10. THE CONTRACTOR SHALL NOTIFY DIG-SAFE 72 HOURS IN ADVANCE OF SITE EXCAVATION.
11. THE SITE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CONDITIONS THAT MAY BE ISSUED BY THE RINDGE PLANNING BOARD, CONSERVATION COMMISSION, ZBA & NHDOT.
12. THE OWNER IS RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. REFER TO THE SITE STORMWATER INSPECTION AND MAINTENANCE MANUAL.
13. APPROPRIATE MEASURES SHALL BE TAKEN TO ENSURE THAT THERE IS NO EROSION OR OFF-SITE SEDIMENT TRANSPORT DURING (AND AFTER) CONSTRUCTION.
14. WITH LESS THAN 100,000 S.F. OF DISTURBANCE, AN ALTERATION OF TERRAIN PERMIT IS NOT REQUIRED.
15. A FIRE WATER SUPPLY IS LOCATED AT 234 MIDDLE WINCHENDON ROAD, A 1.7 MILE & 3 MINUTE DRIVE AWAY. THERE IS A FIRE WATER SUPPLY PROPOSED ON DALE FARM ROAD TO BE CONSTRUCTED IN THE NEAR FUTURE FOR A RESIDENTIAL DEVELOPMENT A HALF MILE AWAY FROM THIS SITE.
16. 17,100 S.F. OF NEW SELF STORAGE IS PROPOSED. A STORMWATER MANAGEMENT SYSTEM IS ALSO PROPOSED TO DETAIN AND TREAT STORMWATER FROM THE PROPOSED AND SOME OF THE EXISTING IMPERVIOUS AREAS. POST-CONSTRUCTION PEAK DISCHARGE RATES ARE LESS THAN PRE-CONSTRUCTION RATES IN ALL MAJOR STORM EVENTS.
17. THERE IS NO PROPOSED SCREENING, HOWEVER NATURAL SCREENING EXISTS ON THE NORTH END OF THE SITE AS A PARTIAL WOODED AND ELEVATED AREA. TO THE SOUTH OF THE LOT IS AN EXISTING TRANSMISSION EASEMENT WHICH ALLOWS A BUFFER TO ANY DEVELOPMENT TO THE SOUTH.
18. AREAS NOT PAVED SHALL BE LOAMED & SEEDDED UNLESS OTHERWISE NOTED.



- LEGEND**
- N/F EXISTING TREELINE
 - UP NOW OR FORMER (OWNER)
 - IPF ○ UTILITY POLE
 - EXISTING GRADE CONTOUR
 - 1105 PROPOSED GRADE CONTOUR
 - LOW LIMIT OF WORK
 - E ABOVE GROUND ELECTRIC
 - RD ROOF DRAIN
 - UD UNDERDRAIN
 - WETLANDS
 - PROPOSED DOWNCAST LIGHTS
 - FLOW DRAINAGE FLOW ARROWS
 - TRAFFIC ARROW
 - EXISTING LIGHTING



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EROSION CONTROL NOTES

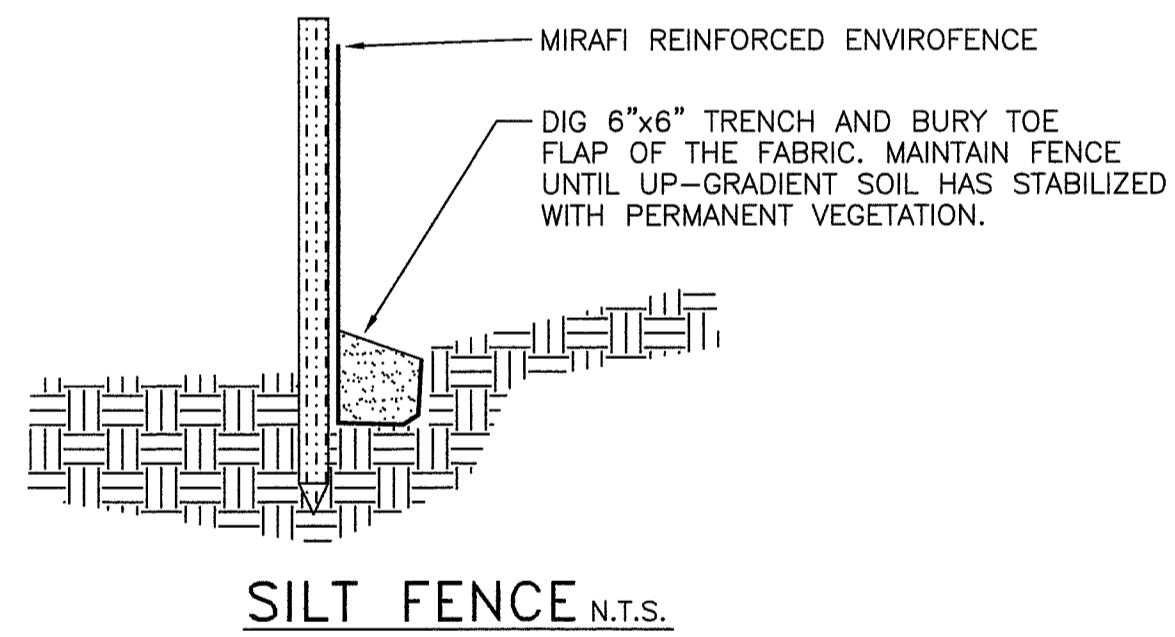
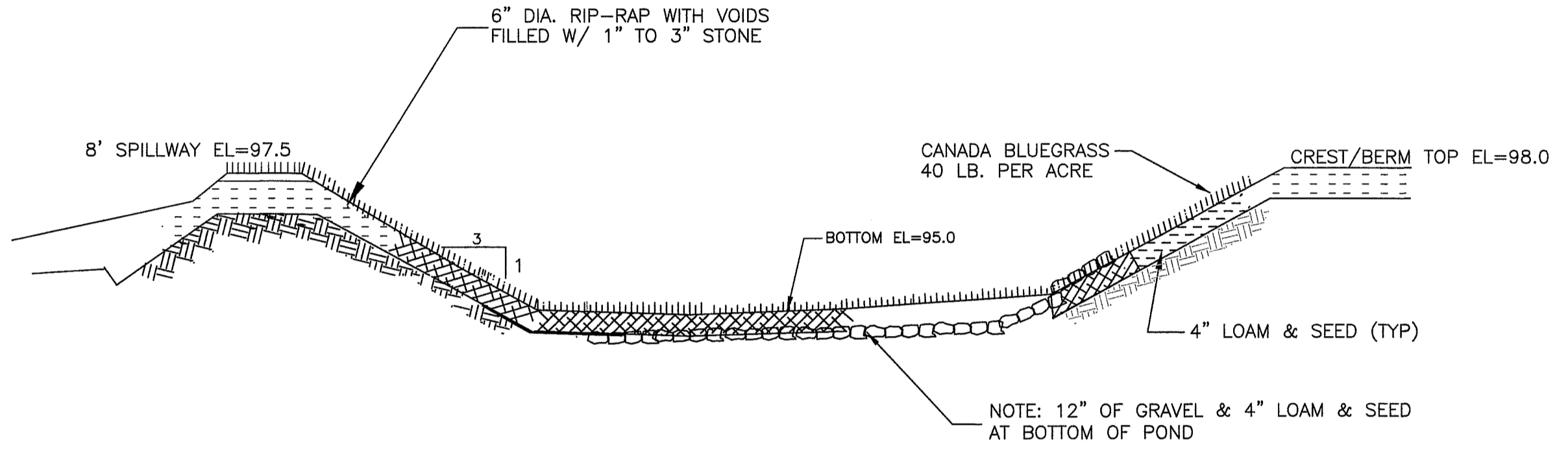
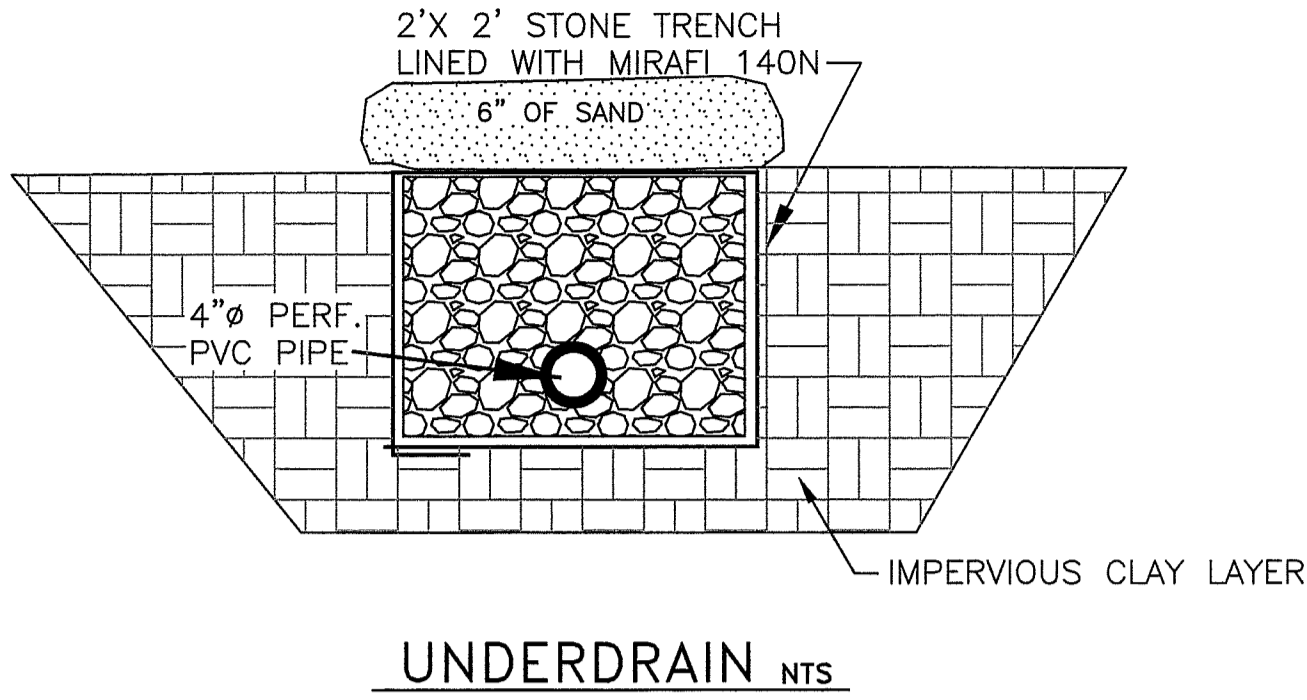
- 1) INSTALL THE EROSION CONTROL (SILT FENCING AND HAY BALES AS SHOWN ON PLANS), PRIOR TO ANY ADDITIONAL EXCAVATION OR ALTERATIONS ON SITE. INSPECT WEEKLY & AFTER EVERY 1/2 INCH OF RAINFALL.
- 2) THE CONSTRUCTION SEQUENCING SHALL BE AS FOLLOWS:
 1. INSTALL PERIMETER EROSION CONTROLS.
 2. CONSTRUCT WATER QUALITY SWALES AND DETENTION BASINS.
 3. STABILIZE SLOPES IN WATER QUALITY SWALE AND DETENTION BASINS. ALL ELEMENTS TO RECEIVE RUNOFF SHALL BE FIRST STABILIZED PRIOR TO DIRECTING WATER TO THEM. UTILIZE NORTH AMERICAN GREEN'S C350 EROSION CONTROL/TURF REINFORCEMENT MAT. USE LOAM SEED & MULCH IN BASINS IF IN GROWING SEASON.
 3. REMOVE TREES, STRIP, AND STOCKPILE SOILS. IF STOCK PILE IS LEFT FOR MORE THAN 21 CALENDAR DAYS, IT SHALL BE COVERED WITH A TEMPORARY VEGETATIVE COVER (RYEGRASS OR APPROVED EQUAL).
 4. MAKE CUTS AND FILLS AND SIDE SLOPES AND CONSTRUCT TEMPORARY WATER BARS AS NEEDED.
 5. LOAM SIDE SLOPES & SEED/MULCH WITHIN 72 HOURS OF FINAL GRADE.
 6. INSTALL PERMANENT DRAINAGE STRUCTURES, SUB DRAINS, AND SWALES/ CHECK DAMS.
- 3) SLOPE SEEDING SHALL BE STANDARD NHDOT SLOPE SEED TYPE-44 MIX. SEED APPLICATION SHALL CONTAIN STABILIZING STRAW MULCH. SEEDING DATES SHALL CONFORM WITH STANDARD SPRING OR FALL PLANTING SEASON. TEMPORARY SEEDING SHALL BE AN ANNUAL RYEGRASS (OR RYEGRASS BLEND) SUITABLE FOR THE LOCALE.
- 4) STAKED & ENTRENCHED HAY BALES SHALL BE PLACED AROUND CATCH BASIN AND DRAINAGE OUTFALLS. INSPECT AND REPAIR EROSION CONTROLS AND CONCENTRATED FLOW AREAS AT LEAST WEEKLY AND FOLLOWING EACH RAINFALL (1/2" OR MORE), OR FOLLOWING SNOW MELTS. REMOVE SEDIMENT FROM CATCH BASIN SUMPS AND CHECK DAMS. SEE I & M MANUAL.
- 5) ADDITIONAL HAY BALE DAMS SHALL BE INSTALLED IN AREAS OF CONCENTRATED RUNOFF AND GEOTEXTILES AND RIP-RAP ADDED AS NECESSARY TO REDUCE FLOW ENERGY AND PRECLUDE SOIL EROSION.
- 6) SEDIMENT TRAPS/BASINS SHOULD BE USED AS NECESSARY TO CONNTAIN RUNOFF UNTIL BASINS/PONDS ARE STABILIZED. ONCE PERMANENT SWALES AND BASINS ARE CONSTRUCTED, A LAYER OF MIRAFI 140N (OR EQUAL) FABRIC SHOULD BE INSTALLED TO AID IN THE BASIN CLEANING DURING THE UNSTABILIZED SITE CONDITIONS, AUGMENTED WITH FILTERS PER DETAIL WHEN APPROPRIATE.
- 7) THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED AT ANY ONE TIME DURING CONSTRUCTION. STABILIZATION SHALL MEAN:
 - a) BASE COURSE GRAVEL IN PLACE, b) A MINIMUM OF 85% OF SURFACE VEGETATION IS ESTABLISHED, c) A MINIMUM OF 3" OF STONE OR RIP-RAP INSTALLED, d) EROSION CONTROL BLANKET/MATTING HAS BEEN PROPERLY INSTALLED. BARE EARTH WHICH CANNOT BE READILY STABILIZED WITH PERMANENT OR TEMPORARY SEED MIX DUE TO CONSTRUCTION TIMING OUTSIDE OF PLANTING SEASONS, SHALL BE STABILIZED WITH NORTH AMERICAN GREEN'S S150BN EROSION CONTROL/TURF REINFORCEMENT MAT.
- 8) THE SITE CONTRACTOR SHALL MAKE DAILY INSPECTIONS OF SITE STABILIZATION MEASURES AND MAKE ADJUSTMENTS AND REPAIRS WHERE NECESSARY.
- 9) ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE. ALL ROADWAYS/ PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. LOT DISTURBANCE, OTHER THAN THAT SHOWN ON THE APPROVED PLANS, SHALL NOT OCCUR UNTIL AFTER THE ROADWAY AND ASSOCIATED DRAINAGE HAVE BEEN COMPLETED AND STABILIZED.
- 10) WINTER CONSTRUCTION NOTES:
 - a) ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15th, OR WHICH ARE DISTURBED AFTER OCTOBER 15th, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES STEEPER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS;
 - b) ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% EGETATED GROWTH BY OCTOBER 15th, OR WHICH ARE DISTURBED AFTER OCTOBER 15th, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS; AND,
 - c) AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM/SPEC. 304.3.

MISCELLANEOUS NOTES:

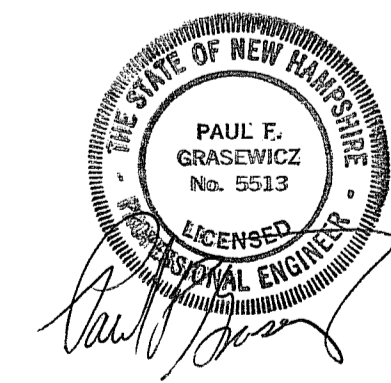
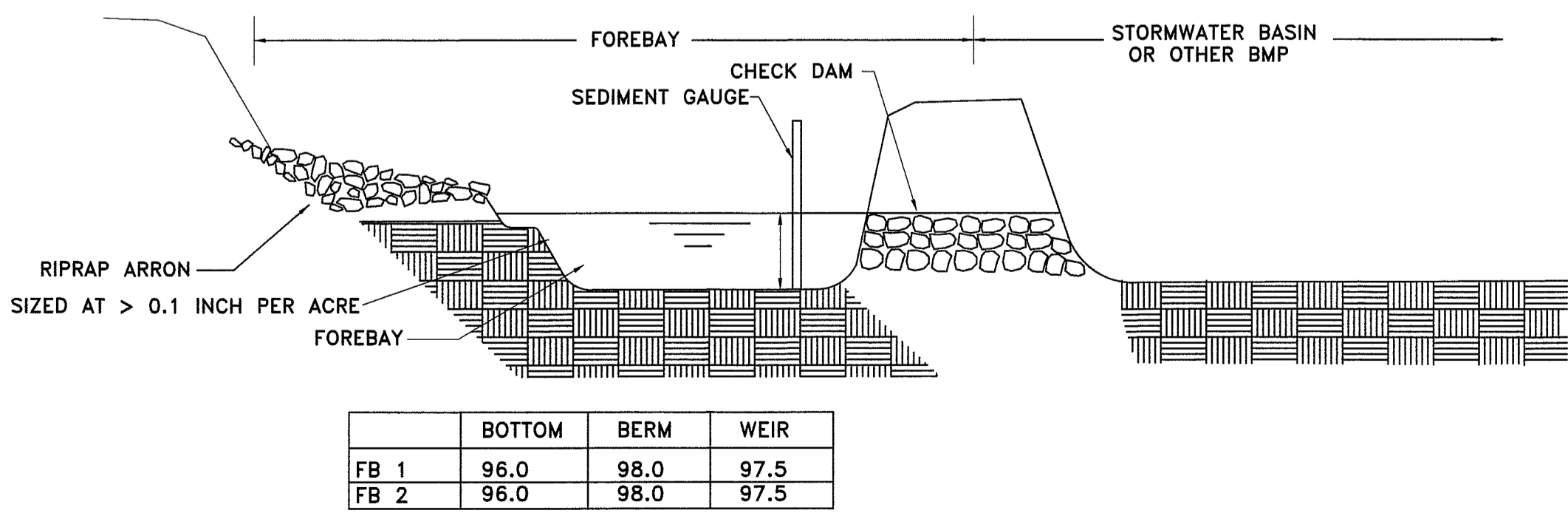
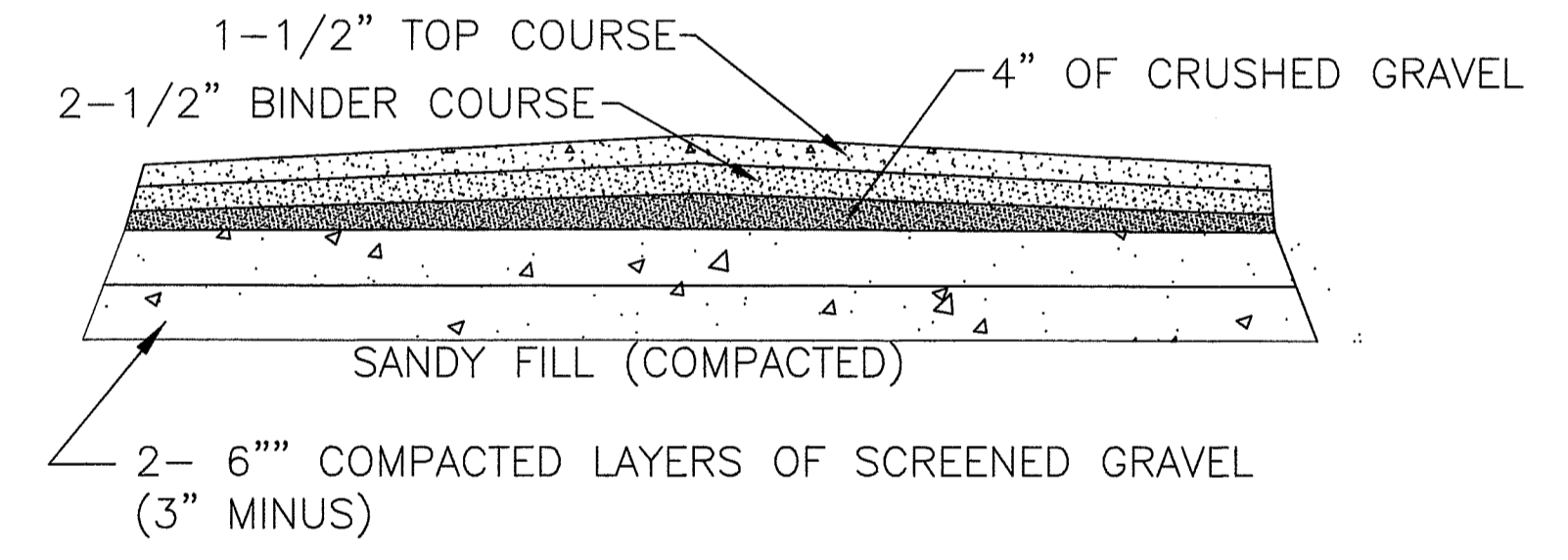
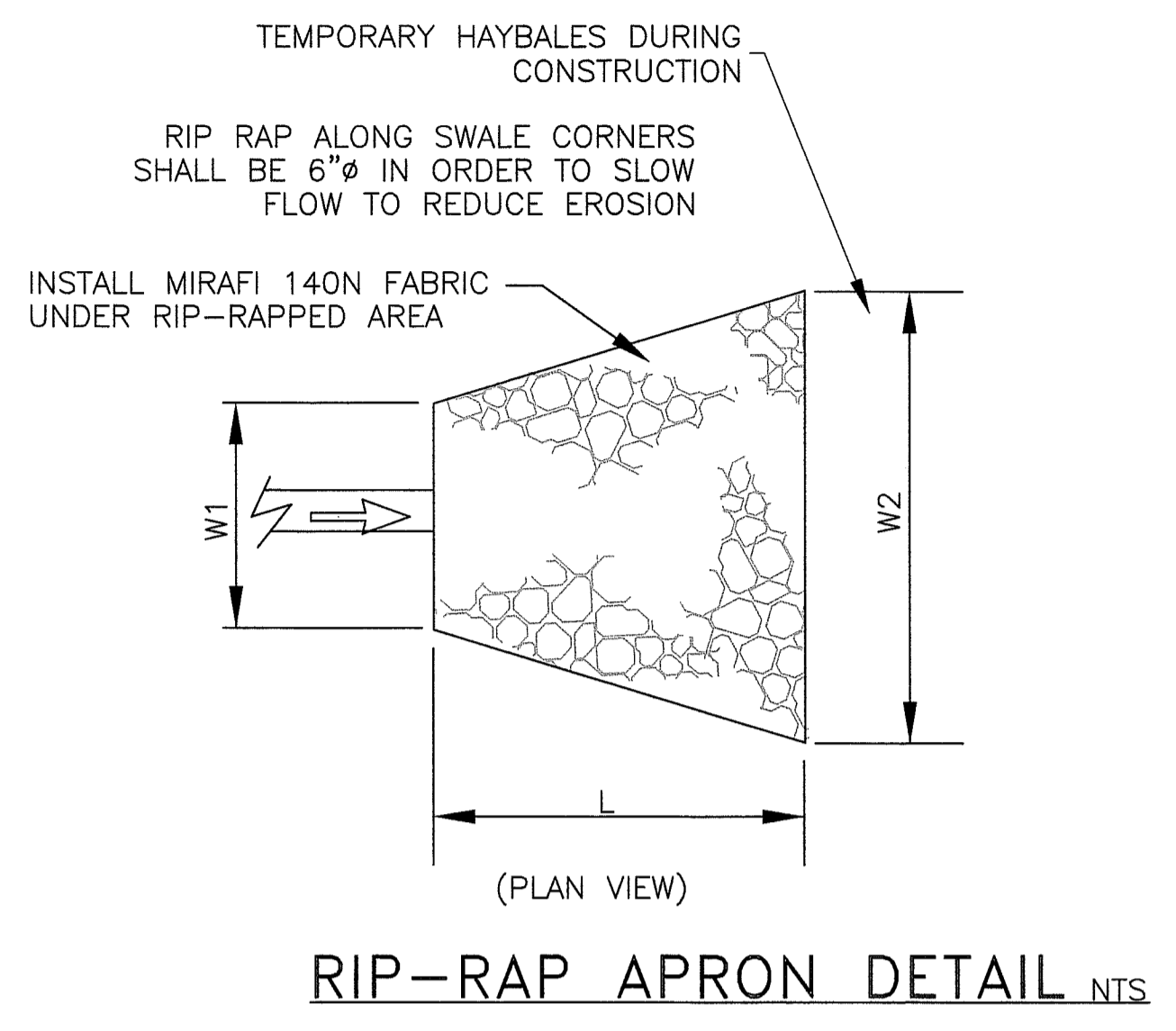
- 1) THE CONTRACTOR (DURING CONSTRUCTION) AND OWNERS SHALL MANAGE SITE OPERATIONS TO PRECLUDE THE INTRODUCTION OF ANY INVASIVE/ALIEN SPECIES AND SHALL COMPLY WITH THE INTENT OF RSA 430:53 AND AGR-3800.
- 2) THE SITE CONTRACTOR SHALL TAKE ANY REQUIRED PRECAUTIONS AND PROCEDURES TO PRECLUDE FUGITIVE DUST FROM BECOMING AIR-BORNE AND SHALL BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000.

STORMWATER SYSTEM OPERATION & MAINTENANCE:

- A) RESPONSIBILITY-- THE APPLICANTS SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER SYSTEM.



50 YR FLOW	W1	W2	L	S	
6' WEIR FROM INFIL. BASIN 1	5.75 CFS	8'	16'	10'	6"φ



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NO.	REVISIONS

STRUCTURAL NOTES

BUILDER / CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT PLANS AND SPECIFICATIONS COMPLY WITH APPLICABLE REQUIREMENTS OF ANY GOVERNING BUILDING AUTHORITY.

METAL BUILDING STRUCTURE DESIGNED PER THE FOLLOWING LOADING:

CODE: IBC 2015
 WIND: 118 MPH EXPOSURE C WINDLOAD
 ROOF LOAD: 20 PSF ROOF LIVE LOAD
 SEISMIC: 0.22
 SNOW LOAD: 46.2 PSF (MAX) ROOF SNOW LOAD

DESIGN LOADS DESIGNATED WITHIN CONTRACT AND DRAWINGS DO NOT ALLOW FOR ANY TYPE OF SUSPENDED SYSTEM (E.G. LIGHTS, INSULATION, DUCT WORK, PIPING, ETC.) SUSPENSION OF ANY LOAD INDUCING SYSTEM IS EXPLICITLY PROHIBITED UNLESS A CORRESPONDING REDUCTION IN CERTIFIED LIVE/SNOW LOADS CAN BE PERMITTED BY CODE.

DESIGN AND SPECIFICATION OF BASE STEEL TO CONCRETE SLAB ANCHORING IS NOT THE RESPONSIBILITY OF THE BUILDING MANUFACTURER.

BUILDING MANUFACTURER ASSUMES NO RESPONSIBILITY FOR CONCRETE SLAB FOUNDATION DESIGN, THICKNESS, MATERIALS, SITE SOIL CONDITIONS OR OTHER CONCRETE/MASONRY CONSTRUCTION.

ALL STRUCTURAL CONNECTIONS ARE TO BE MADE PER FASTENING DETAILS PRESENTED HEREIN. ALL STEEL FRAMING AND SHEETING MATERIALS MUST BE INSTALLED TO VERTICAL PLUMB AND HORIZONTALLY LEVEL.

THE BUILDING MANUFACTURER AND THE PROFESSIONAL ENGINEER SEALING THESE DRAWINGS ARE NOT THE PROFESSIONAL ENGINEER OF RECORD FOR THE ENTIRE PROJECT. THE PROFESSIONAL ENGINEER'S SEAL PERTAINS ONLY TO THE STRUCTURAL DESIGN OF THE METAL BUILDING SYSTEM. IT DOES NOT APPLY TO THE FOUNDATION SYSTEM, MASONRY DESIGN OR ANY OTHER ASPECT OF THE PROJECT UNLESS SPECIFICALLY STATED IN THESE DOCUMENTS.

JOBSITE / FIELD CONDITIONS NOTES:

BUILDING MANUFACTURER ASSUMES NO RESPONSIBILITY FOR ANY LOADS TO STRUCTURE NOT INDICATED AT THE TIME OF PURCHASE. ANY ALTERATIONS TO THE STRUCTURAL SYSTEM, REMOVAL OF ANY COMPONENT PARTS OR THE ADDITION OF OTHER CONSTRUCTION MATERIALS OR LOADS MUST BE DONE UNDER THE DIRECTION OF REGISTERED ARCHITECT, CIVIL OR STRUCTURAL ENGINEER.

ALL CONCRETE AND MASONRY CONSTRUCTION MUST BE FLAT, LEVEL AND SQUARE PER THE SLAB PLAN DIMENSIONS HEREIN.

ALL JOBSITE DIMENSIONS AND CONDITIONS SHALL BE FIELD VERIFIED BEFORE ERECTION OF BUILDING STRUCTURE.

ALL OMISSIONS, CONFLICTS AND DISCREPANCIES SHALL BE REPORTED TO THE BUILDING MANUFACTURER BEFORE PROCEEDING WITH PROJECT WORK.

ALL TEMPORARY SUPPORTS SUCH AS GUYS, BRACES, FALSEWORK, CRIBBING, WINDBRACES OR OTHER ELEMENTS REQUIRED FOR THE BUILDING ERECTION ARE TO BE DETERMINED BY AND SUPPLIED BY BUILDER/CONTRACTOR.

BUILDING MANUFACTURER HAS MADE A COMMITMENT TO MANUFACTURE QUALITY BUILDING COMPONENTS THAT CAN BE SAFELY ERECTED. JOB SITE SAFETY INSTRUCTION, SAFETY EQUIPMENT AND CONDITIONS ARE THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR.

ALL COMPONENTS SHIPPED SHALL BE THOROUGHLY INSPECTED AND ACCOUNTED FOR AT THE TIME OF DELIVERY. ALL MATERIAL SHORTAGES OR DEFECTS MUST BE REPORTED WITHIN FIVE (5) WORKING DAYS OF MATERIAL DELIVERY TO THE BUILDING MANUFACTURER.

DIAPHRAGM ACTION OF THE METAL PANELS AT INTERIOR PARTITION WALLS IS UTILIZED FOR THE STABILITY OF THIS BUILDING. ANY MODIFICATION OR UNAUTHORIZED CUTTING OF INTERIOR PARTITION PANELS IS EXPRESSLY PROHIBITED BY THE BUILDING MANUFACTURER.

INSTALLATION NOTES:

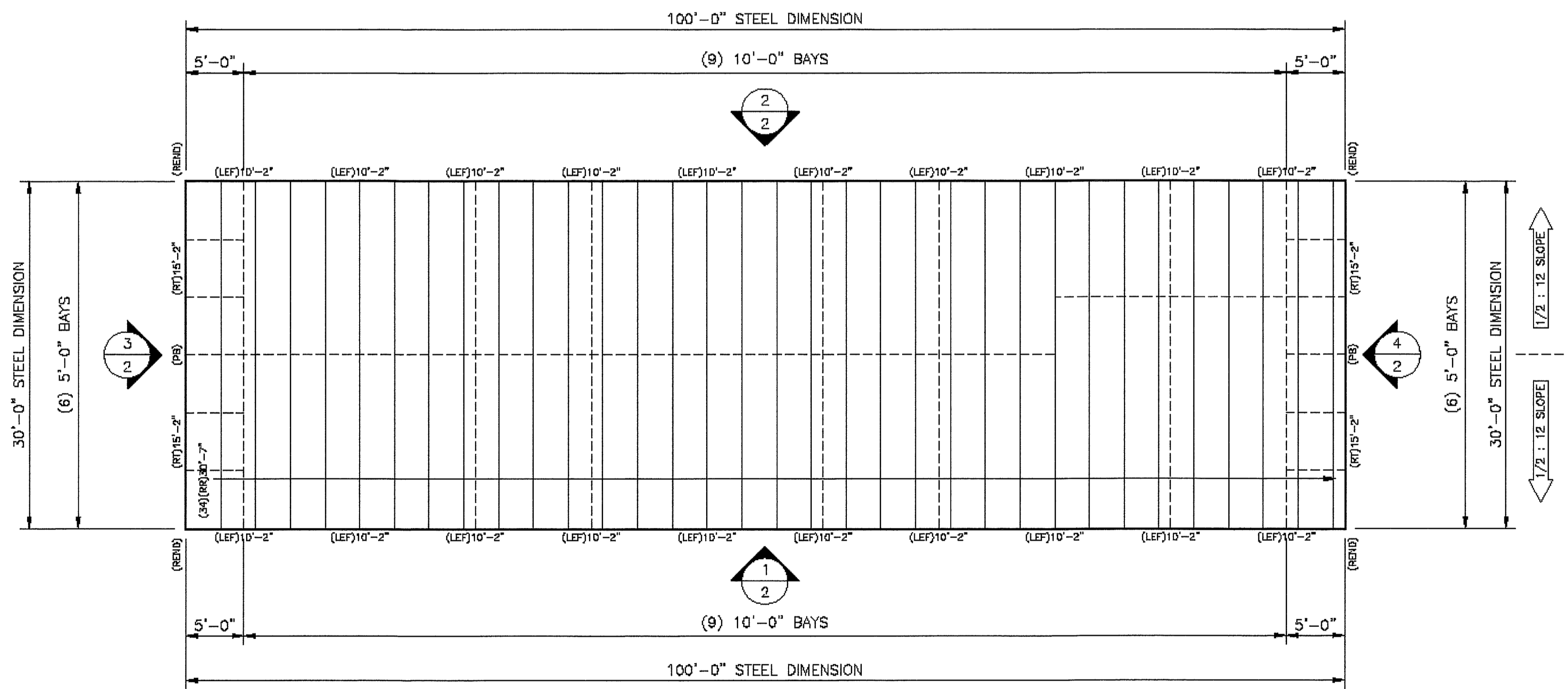
FIELD CUTTING OF STRUCTURAL, SHEETING AND TRIMS FOR SPLICE AND FINAL FITTING OF COMPONENTS IS REQUIRED.

ALL ROOF PANEL LAPS SHALL BE SEALED WITH 3/8" (MINIMUM) WIDTH MASTIC TAPE AS PROVIDED FOR PROJECT. ALL SHEET PROFILE FOAM CLOSURES AT EAVE, WALL AND RIDGE CONDITIONS AS PROVIDED FOR PROJECT MUST BE INSTALLED AS SHOWN HEREIN.

WALL PANELS AND WALL TRIMS, AT INTERIOR AND EXTERIOR, ARE TO BE SET WITH 1/4" CLEARANCE ABOVE CONCRETE SURFACES AND AT ANY LOCATIONS WHICH MAY BE SUBJECTED TO CONTACT WITH STANDING WATER.

LAP ALL FLASHINGS 2" MINIMUM AND SEAL AS REQUIRED FOR WATER TIGHTNESS

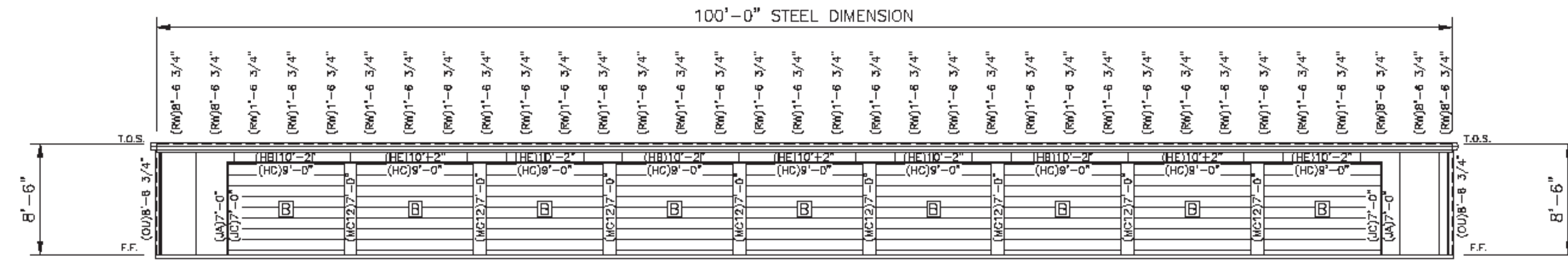
ALLOW 1/4" TOLERANCE AT EACH END FOR PURLINS, HEADERS AND GIRTS.



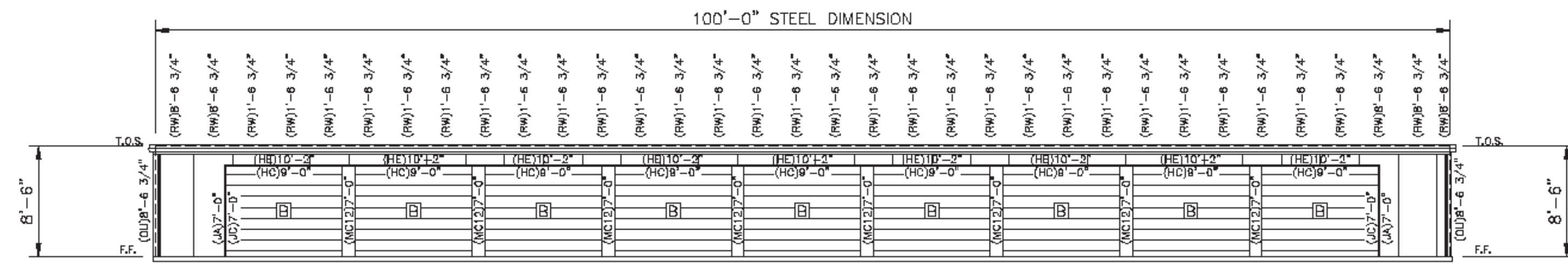
KEY PLAN
 scale - 1/8" = 1'-0"

- NOTES:**
- 1) DETAIL / PLAN IS FOR 30' WIDE BUILDING. 20' BUILDINGS ARE SIMILAR, SEE FULL ARCHITECTURAL PLANS FOR THE PROJECT.
 - 2) LENGTHS AND WIDTHS OF BUILDINGS SHALL BE AS SHOWN ON THE SITE PLAN (SHEET 3 OF 6).
 - 3) THE 20' WIDE BUILDINGS SHALL NOT HAVE ACCESS OR UNITS ON THE BACK (OUTER) SIDE.

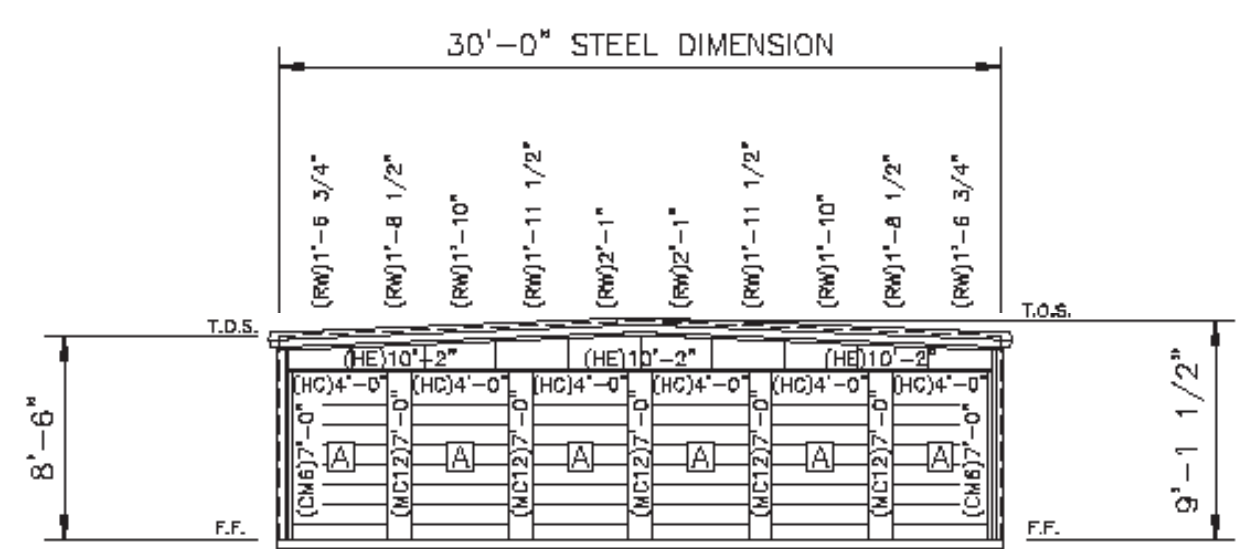
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1 FRONT ELEVATION
 scale - 1/8" = 1'-0"

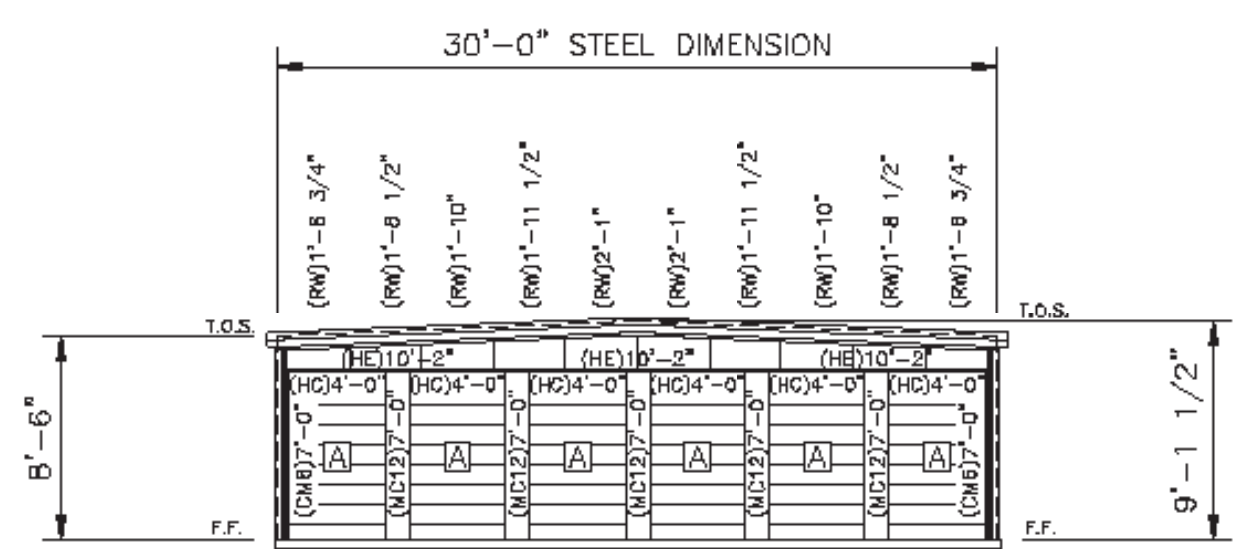


2 REAR ELEVATION
 scale - 1/8" = 1'-0"

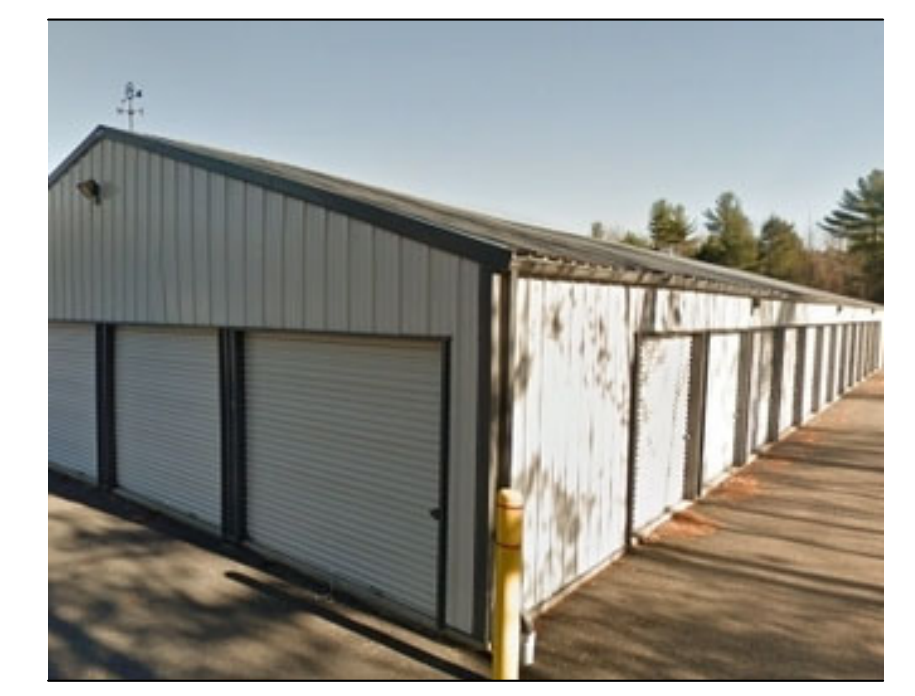


3 LEFT ELEVATION
 scale - 3/32" = 1'-0"

DOOR SCHEDULE	
A	(12) EACH 4'-0" X 7'-0" ROLLUP DOOR
B	(18) EACH 9'-0" X 7'-0" ROLLUP DOOR



4 RIGHT ELEVATION
 scale - 3/32" = 1'-0"



TYPICAL ELEVATION VIEWS NTS

- NOTES:**
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REVISIONS

NO.	DATE	BY	DES	TWF	CHK	PFG	APPD