

[02-38]
EVA LAFOND,
LINDA WOOD
BRENDA BERNARD
& HENRY LAFOND
895 Forristall Rd
Rindge, NH 03461
1875/028

[02-37-04]
MARISSA L. BERNIER &
WILFRED E. TARRATS
883 Forristall Rd
Rindge, NH 03461
2088/646

[02-060-03]
JAMES A. WILKINSON
AND
LISA M. WILKINSON
REVOCABLE TRUST of 2018
898 Forristall Rd.
Rindge, NH 03461
3031/81

[02-060-02]
MATTHEW J. &
CHRISTINE M. PECK
710 Forristall Rd.
Rindge, NH 03461
2896/410

[02-060-01-02]
997 LLC
997 US Rt. 202
Rindge, NH 03461
3159/613

[02-061]
2.026 Acres±
88,256 Sq.Ft.
279.7' Frontage

[02-061-03]
6.909 Acres±
300,948 Sq.Ft.
56.8' Frontage Forristall Road
472' Frontage Route 202

[02-061-02]
NEIL & TRYSTON
WHITNEY
688 Forristall Rd
Rindge, NH 03461
2947/167

Symbol Legend

| | |
|--|--|
| | WELL |
| | SIGN |
| | UTILITY POLE W/GUY WIRES, OVERHEAD LINES AND NUMBERS |
| | SOILS TYPE KEY LETTER |
| | WETLAND FLAG & NUMBER |
| | TEST PIT |
| | CHESHIRE REGISTRY OF DEEDS |
| | TAX MAP PARCEL NUMBER |
| | DEED VOLUME & PAGE |
| | STONE WALL |
| | CHAIN LINK FENCE |
| | EDGE OF WATER |
| | TREE LINE |
| | EDGE OF PAVEMENT |
| | EDGE OF GRAVEL |
| | EDGE OF WETLANDS |
| | IRON PIN/PIPE |
| | DRILL HOLE |
| | 5/8" REBAR WITH CAP (SET) |

Zoning Districts
ZONE - RESIDENTIAL AGRICULTURAL
REQUIREMENTS

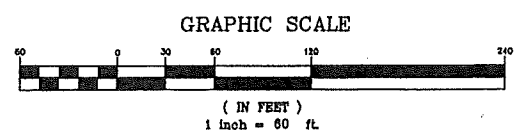
| | |
|--------------------------|------------|
| LOT SIZE | 2.00 ACRES |
| FRONTAGE | 250' |
| BUILDING SETBACKS | |
| FRONT | 50' |
| SIDE | 30' |
| REAR | 30' |

WETLANDS CONSERVATION DISTRICT
150' BUFFER TO OPEN WATER
50' BUFFER TO WETLANDS > 3,000 SF.
100' SEPTIC SYSTEM SETBACK

SEE TOWN OF RINDGE ZONING ORDINANCES
CONCERNING ADDITIONAL REQUIREMENTS PERTAINING
TO PARCEL

Owner of Record
[02-061]
CALVIN T. & HONEY K.
AHO
688 Forristall Road, Rindge,
NH 03461
3170/920

TOTAL AREA
8.935 Acres±
389,205 Sq.Ft.±



| NO. | DATE | REVISION | BY |
|-----|------|----------|----|
| | | | |

Plan References

- REFERENCES INCLUDE ALL INFORMATION REFERRED TO ON ANY OF THE FOLLOWING PLANS
- TWO LOT SUBDIVISION OF LAND OWNED BY MICHAEL A. MORABITO AND MARGARET G. MORABITO, RINDGE, NEW HAMPSHIRE, DATED MARCH 18, 1982, BY ROY K. PIPER (Pb.47 Pg.23 CCRD)
 - SUBDIVISION PLAN OF LAND, LAND OF ALAIN J. CHOQUETTE, DATED JULY 12, 2001, BY VORCE, SONEY AND ASSOCIATES, INC (Cab.12 Dr.07 No.0005 CCRD)
 - PLANS OF PROPOSED FEDERAL AID SECONDARY PROJECT No.RS 215(1) NH PROJECT No. P-1242 (NH DOT ROW DEPARTMENT)

Notes

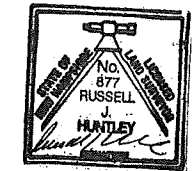
- THE BEARINGS SHOWN ON THIS PLAN ARE REFERENCED TO NAD83 NH STATE PLANE GRID, BASED ON A STATIC GPS SURVEY PERFORMED ON AUGUST 18, 2021 USING AN IGSS GNSS RECEIVER.
- THE BOUNDARY LINES SHOWN ON THIS PLAN WERE CALCULATED FROM SOURCE DEED, PLANS REFERENCED AND PHYSICAL EVIDENCE FOUND DURING THE FIELD SURVEY.
- ANY UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED FROM FIELD SURVEY OF SURFACE LOCATIONS. THE LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED PRIOR TO ANY AND ALL CONSTRUCTION. CALL DIG-SAFE PRIOR TO ANY CONSTRUCTION.
- JURISDICTIONAL WETLANDS WERE DELINEATED BY MONADNOCK SEPTIC DESIGN, LLC, DURING THE MONTH OF AUGUST, 2021. OTHER WET AREAS ARE SHOWN PER FIELD SURVEY OF VISIBLE SURFACE WATER.
- THE PARCEL SHOWN IS LOCATED IN ZONE X AND IS NOT IN A SPECIAL FLOOD HAZARD AREA PER FEMA PANEL 3305C0585E EFFECTIVELY DATED MAY 23, 2006.
- HOUSE ON PROPOSED LOT 02-061 IS SERVED BY AN ON SITE WELL AND SEPTIC SYSTEM WITH NHDES APPROVAL No.108080. PROPOSED LOT 02-061 MEETS NHDES LOT LOADING CRITERIA.

**APPROVED BY THE
RINDGE PLANNING BOARD**

CERTIFIED BY THE CHAIRMAN
AND THE DIRECTOR OF PLANNING
ON _____

Surveyor's Certification

PURSUANT TO RSA 678: 18 III AND RSA 672: 14, I CERTIFY THAT THIS SURVEY AND PLAT WERE PRODUCED BY ME OR THOSE UNDER MY DIRECT SUPERVISION FROM A TOTAL STATION AND DATA COLLECTOR TRAVERSE WITH A POSITION TOLERANCE OF 0.10 + 100 ppm THAT MEETS OR EXCEEDS NH LAN 500 AND THE ALLOWABLE RELATIVE POSITIONAL ACCURACY FOR RURAL AREAS AS REQUIRED BY THE STATE OF NEW HAMPSHIRE IN TABLE 500.1, "ACCURACY MEASUREMENTS, LOCAL ACCURACY OF CONTROL SUPPORTING THE SURVEY," AND IS BASED ON INFORMATION RECORDED AT THE CHESHIRE COUNTY REGISTRY OF DEEDS AS REFERENCED HEREON, INFORMATION PROVIDED BY THE CLIENT AND PHYSICAL EVIDENCE FOUND.



Two Lot Subdivision

LAND OF
Calvin T. & Honey K. Aho
located at

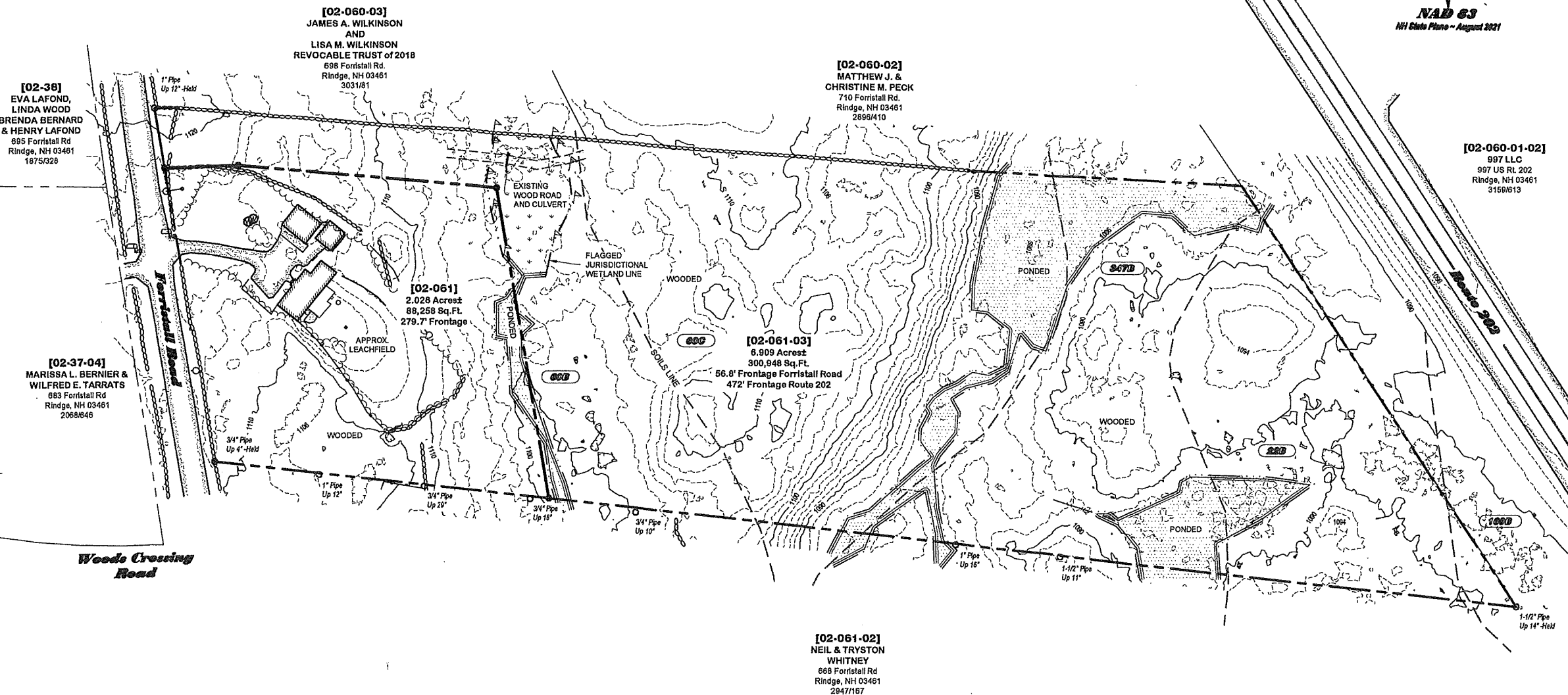
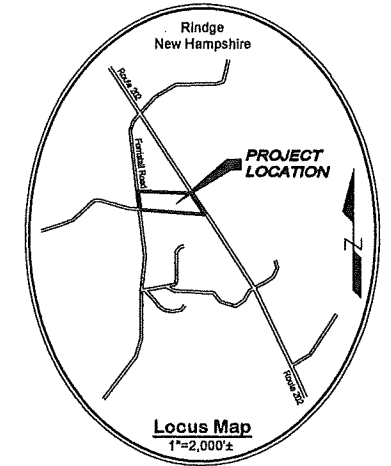
Tax Map Parcel No. 2-61
886 Forristall Road, Rindge, Cheshire County, New Hampshire
Book 3170, Page 920

Scale 1"= 60'

Surveyed 08/2021
Project No. H21-057

Plan prepared 08/26/2021
Cad File No. H21-057A.dwg

Huntley Survey & Design, PLLC
NH & VT Land Surveying, Wetlands & NH Septic System Design
659 West Road, Temple, NH 03084 (603) 924-1669 www.huntleysurvey.com



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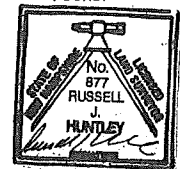
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- THE BOUNDARY LINES SHOWN ON THIS PLAN WERE CALCULATED FROM SOURCE DEED, PLANS REFERENCED AND PHYSICAL EVIDENCE FOUND DURING THE FIELD SURVEY.
- TOPOGRAPHY SHOWN ON THIS PLAN IS FROM A COMBINATION OF AN ACTUAL FIELD SURVEY BY HUNTLEY SURVEY & DESIGN, PLLC PERFORMED DURING THE MONTH OF AUGUST, 2021 AND NH LIDAR MAPPING OBTAINED FROM <http://lidar.unh.edu/map/> THE VERTICAL DATUM IS NAVD 88 OBTAINED BY THE GPS SURVEY DESCRIBED IN NOTE No.1. CONTOUR INTERVAL IS TWO (2) FEET.
- ANY UNDERGROUND UTILITIES, STRUCTURES AND FACILITIES HAVE BEEN PLOTTED FROM DATA OBTAINED FROM FIELD SURVEY OF SURFACE LOCATIONS. THE LOCATION OF ALL UTILITIES AND STRUCTURES MUST BE VERIFIED PRIOR TO ANY AND ALL CONSTRUCTION. CALL DIG-SAFE PRIOR TO ANY CONSTRUCTION.
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- THE PARCEL SHOWN IS LOCATED IN ZONE X AND IS NOT IN A SPECIAL FLOOD HAZARD AREA PER FEMA PANEL 330500585E EFFECTIVELY DATED MAY 23, 2008.
- SOILS LINES AND TYPES SHOWN HEREON WERE OBTAINED FROM NRCS WEB SOIL SURVEY ONLINE PROGRAM, SOIL SURVEY STAFF, NATURAL RESOURCES CONSERVATION SERVICE, UNITED STATES DEPARTMENT OF AGRICULTURE, WEB SOIL SURVEY, AVAILABLE ONLINE AT [HTTPS://WEBSOILSURVEY.SC.EGOV.USDA.GOV/](https://websoilsurvey.sc.egov.usda.gov/). ACCESSED AUGUST 26, 2021.
- HOUSE ON PROPOSED LOT 02-061 IS SERVED BY AN ON SITE WELL AND SEPTIC SYSTEM WITH NHDES APPROVAL No.108060. PROPOSED LOT 02-061 MEETS NHDES LOT LOADING CRITERIA.

**APPROVED BY THE
RINDGE PLANNING BOARD**

CERTIFIED BY THE CHAIRMAN _____
AND THE DIRECTOR OF PLANNING _____
ON _____

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Supplemental Soils & Topography Plan

Two Lot Subdivision

LAND OF
Calvin T. & Honey K. Aho
located at
Tax Map Parcel No. 2-61
686 Forristall Road, Rindge, Cheshire County, New Hampshire
Book 3170, Page 920

Scale 1"= 60'

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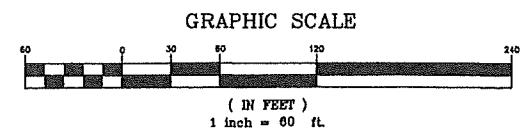
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| | IRON PIN/PIPE |
| | DRILL HOLE |
| | 5/8" REBAR WITH CAP (SET) |

Soils Key

| | | |
|------|---|-------|
| 22B | COLTON GRAVELLY SANDY LOAM | 3-8% |
| 60B | TUNBRIDGE-BERKSHIRE COMPLEX, VERY STONY | 0-8% |
| 60C | TUNBRIDGE-BERKSHIRE COMPLEX, VERY STONY | 8-15% |
| 109B | SUNAPEE FINE SANDY LOAM, VERY STONY | 0-8% |
| 347B | LYME & MOOSILAUKE SOILS, VERY STONY | 0-5% |

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[02-061]
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AHO
686 Forristall Road, Rindge,
NH 03461
3170/920

TOTAL AREA
8,935 Acres±
389,205 Sq.Ft±



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